

HUNTSVILLE LOGISTICS CENTER

Old Highway 20 & Gunters Way, Huntsville, AL 35756

NEW CLASS A INDUSTRIAL DEVELOPMENT

AVAILABLE 4TH QUARTER 2023

4-BUILDING INDUSTRIAL PARK, UP TO 2.2 MILLION SQUARE FEET



J.H. Berry & Gilbert, Inc.



PROFESSIONALLY MARKETED BY:

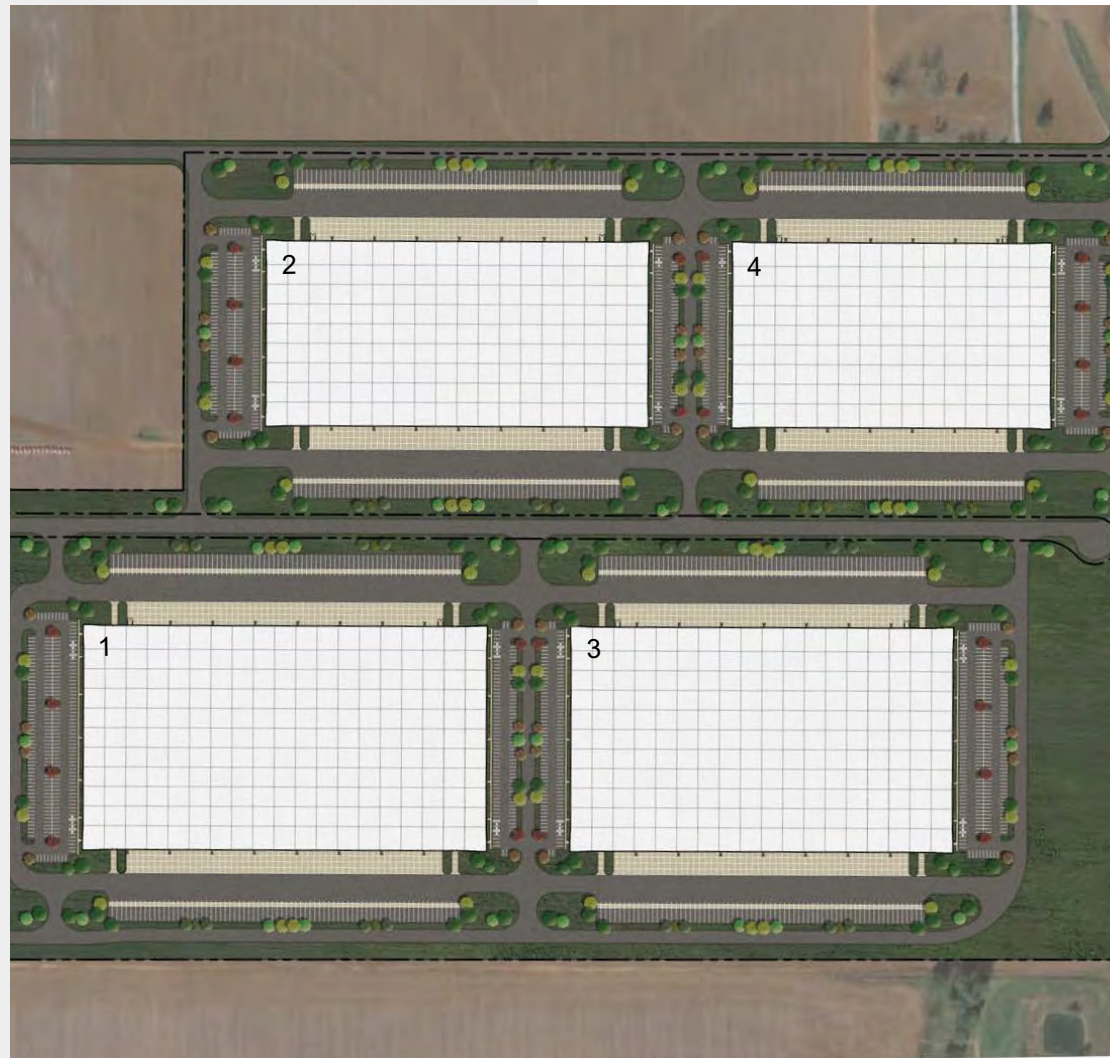
EDWIN MOSS, SIOR, CCIM, CPM
JAKE BOTTCHER
SONNY POTTER

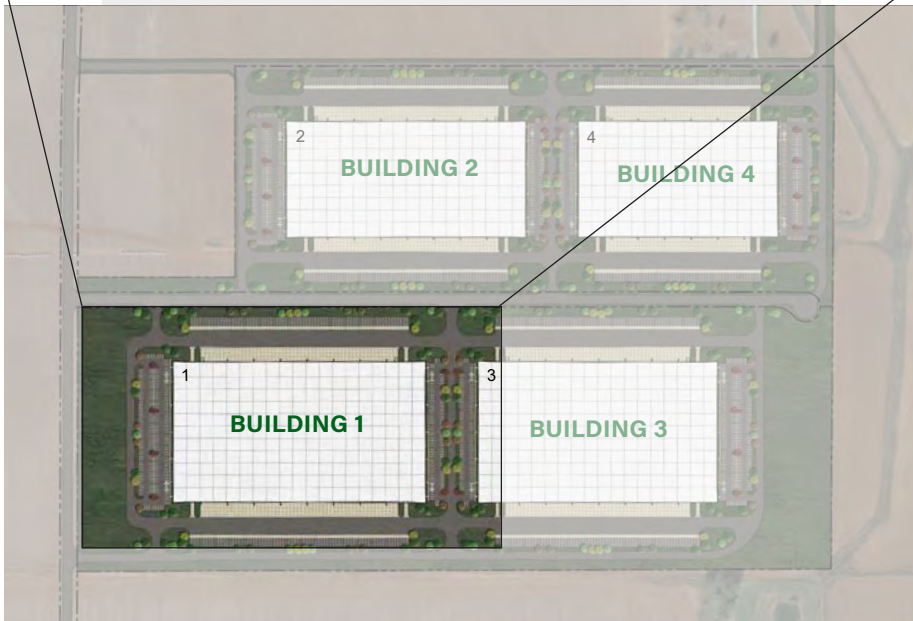
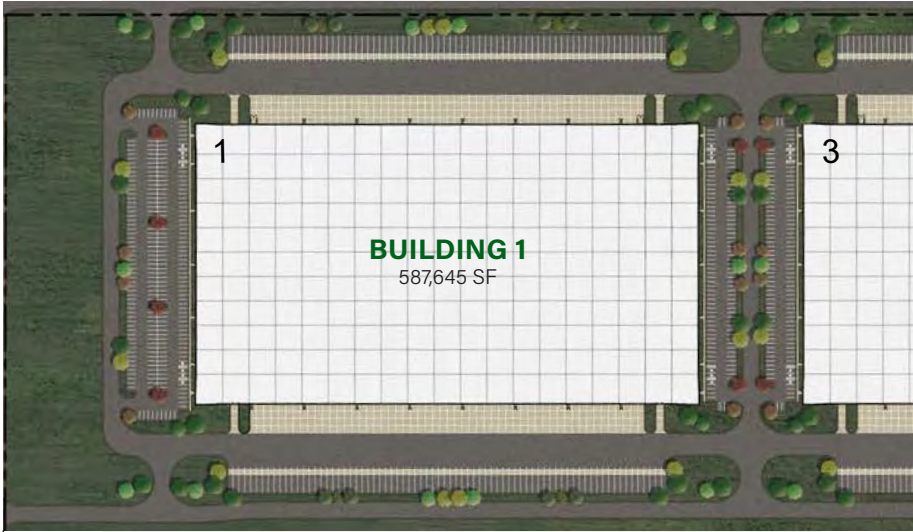
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FOUR BUILDINGS TOTALING OVER **2.2 MILLION** SQUARE FEET

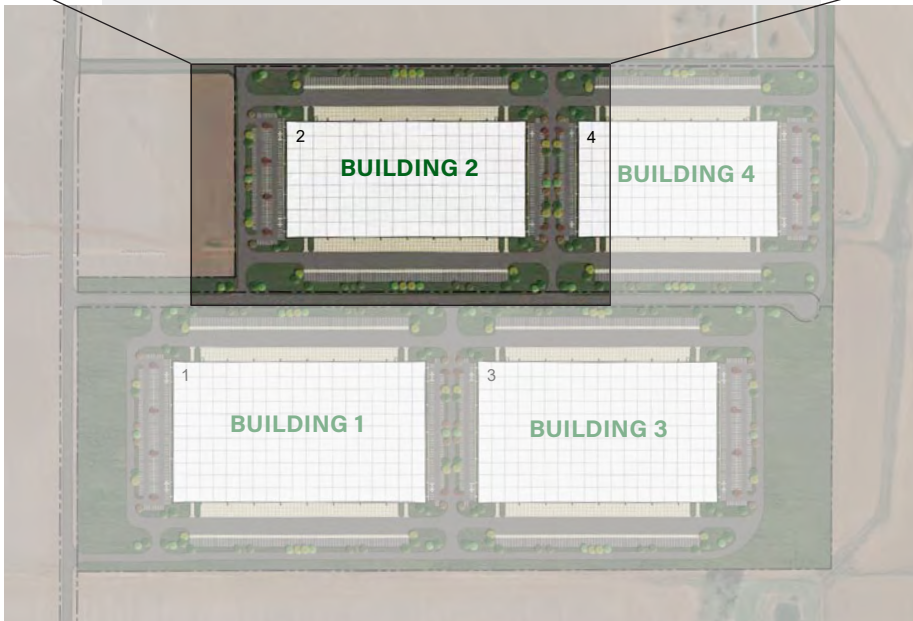
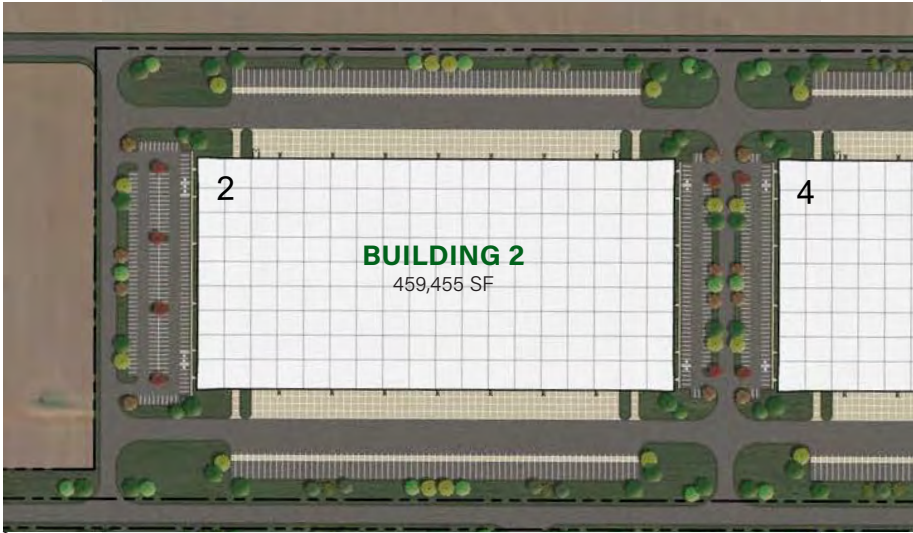
- Total Site Size: +/- 125 acres
- Delivery 4th Quarter 2023
- Space Sizes Range from +/- 126,900 SF and up to +/- 1,261,980 combined
- Building 1 & 3 expandable to +/- 1,261,980 SF
- Building 2 & 4 expandable to +/- 939,060 SF
- Buildings 1 & 3 and 2 & 4 can accommodate large SF tenant users with heavy transportation or utility needs with an expandable building connection





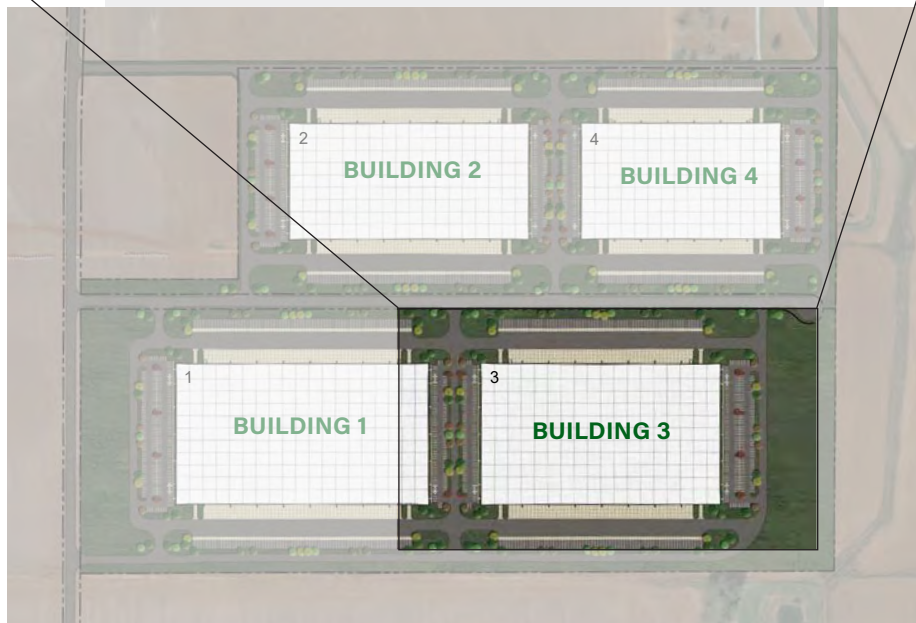
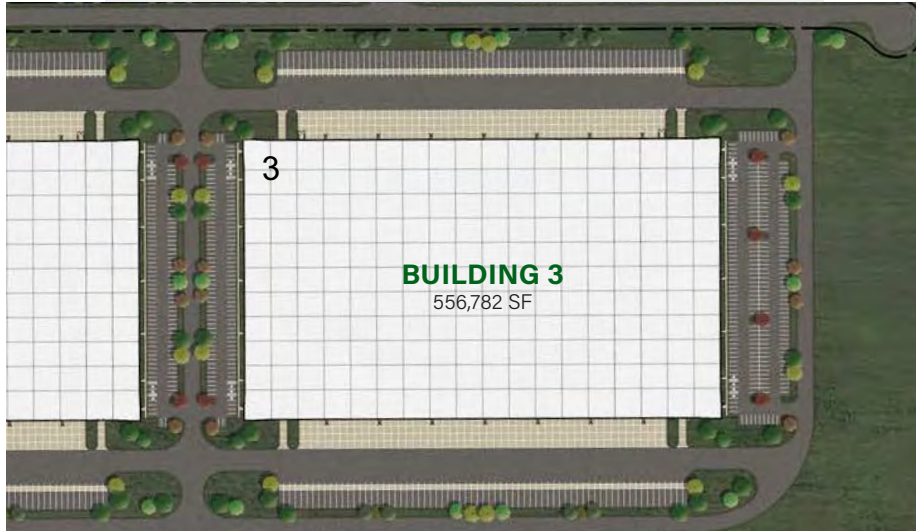
BUILDING 1

Building Square Footage	587,645 SF
Total Site Area	33.92 Acres
Clear Height	40' clear
Column Spacing	54'-0" x 50'-0" 54'-0" x 60'-0" speed bay
Building Dimensions	1026' x 570'
Building Depth	570'
Auto Parking	374 spaces
Trailer Parking	150 spaces
Exterior Walls	Reinforced Tilt-up Concrete Wall Panels with Textured Painted Finish
Structural Steel	12 x 12 Columns / Steel Bar Joists / White Roof Deck
Slab Construction	7" Unreinforced 4,000 PSI
Vapor Barrier	15 Mil Vapor Barrier Under the Slab at Each Building Corner
Dock Doors	59 Built 57 Future 116 Total
Drive-In Doors	4
Roofing	45 Mil White TPO with R-25 Insulation
HVAC	Make-Up Air Units to Maintain 55 Degrees Minimum
Fire Protection	ESFR
Electrical Service	4000 Amps 480/277V
Lighting	LED, 30 F.C.
Office	Build to Suit



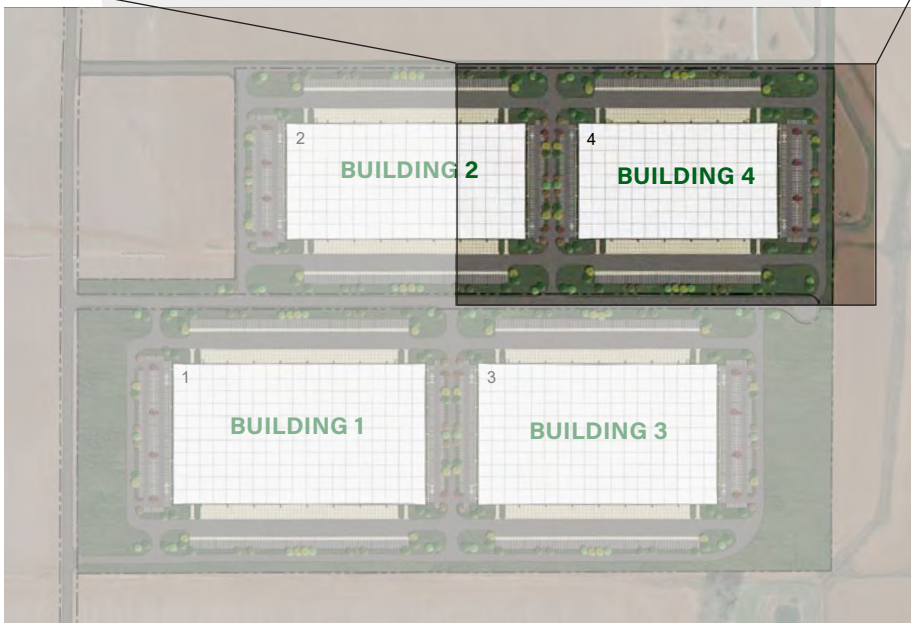
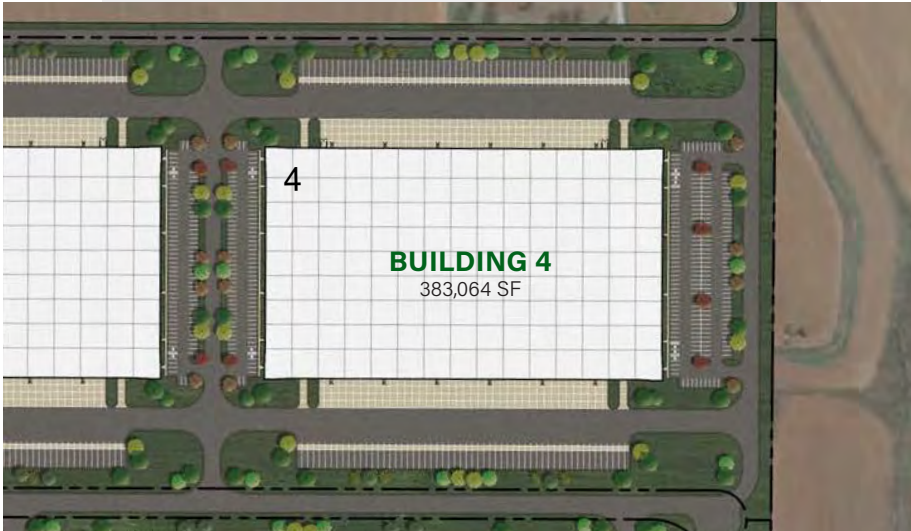
BUILDING 2

Building Square Footage	459,455 SF
Total Site Area	28.0 Acres
Clear Height	40' clear
Column Spacing	54'-0" x 50'-0" 54'-0" x 60'-0" speed bay
Building Dimensions	972' x 470'
Building Depth	470'
Auto Parking	309 spaces
Trailer Parking	140 spaces
Exterior Walls	Reinforced Tilt-up Concrete Wall Panels with Textured Painted Finish
Structural Steel	12 x 12 Columns / Steel Bar Joists / White Roof Deck
Slab Construction	7" Unreinforced 4,000 PSI
Vapor Barrier	15 Mil Vapor Barrier Under the Slab at Each Building Corner
Dock Doors	45 Built 62 Future 108 Total
Drive-In Doors	4
Roofing	45 Mil White TPO with R-25 Insulation
HVAC	Make-Up Air Units to Maintain 55 Degrees Minimum
Fire Protection	ESFR
Electrical Service	4000 Amps 480/277V
Lighting	LED, 30 F.C.
Office	Build to Suit



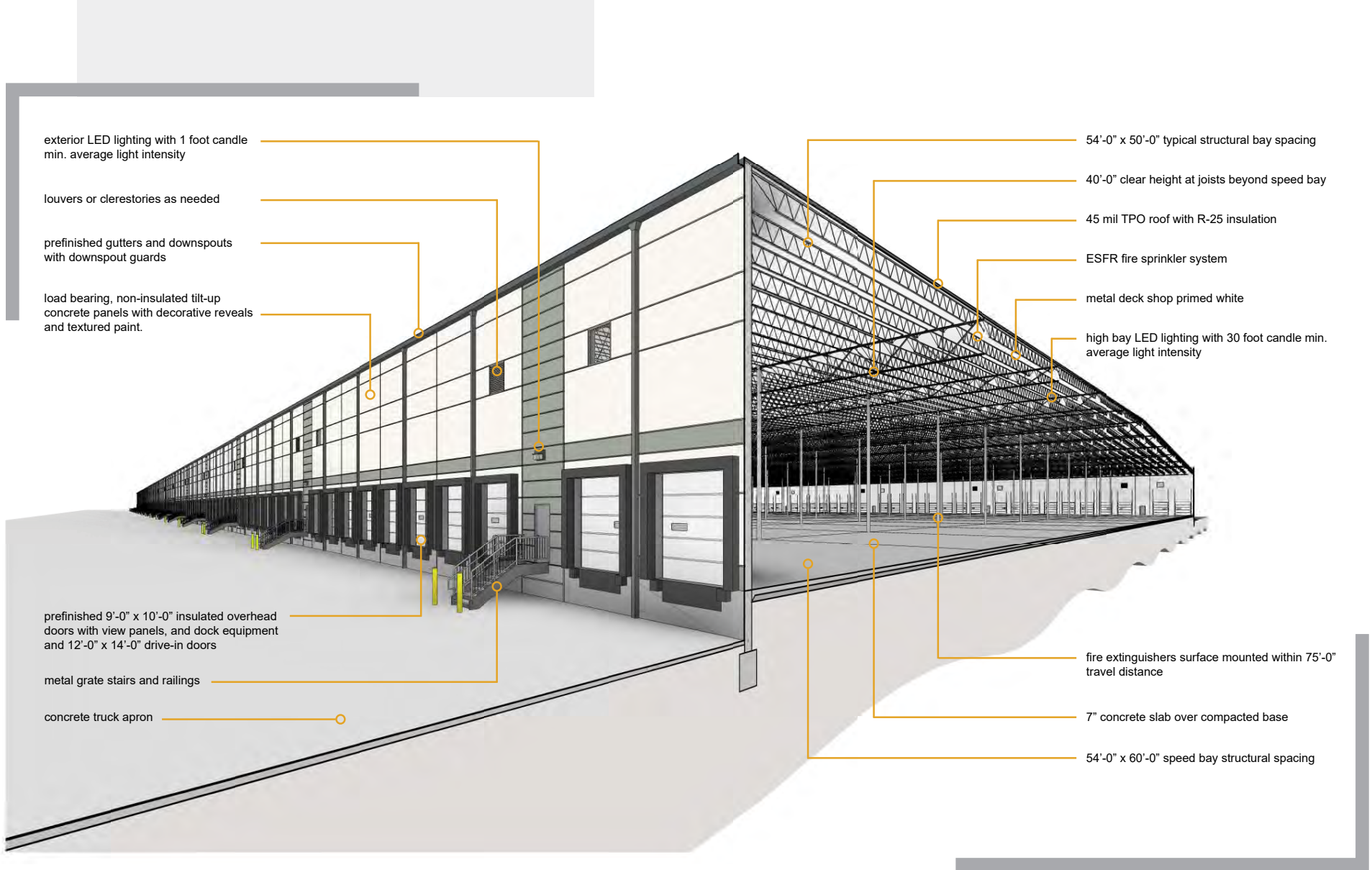
BUILDING 3

Building Square Footage	556,782 SF
Total Site Area	38.37 Acres
Clear Height	40' clear
Column Spacing	54'-0" x 50'-0" 54'-0" x 60'-0" speed bay
Building Dimensions	972' x 470'
Building Depth	470'
Auto Parking	358 spaces
Trailer Parking	140 spaces
Exterior Walls	Reinforced Tilt-up Concrete Wall Panels with Textured Painted Finish
Structural Steel	12 x 12 Columns / Steel Bar Joists / White Roof Deck
Slab Construction	7" Unreinforced 4,000 PSI
Vapor Barrier	15 Mil Vapor Barrier Under the Slab at Each Building Corner
Dock Doors	56 Built 52 Future 108 Total
Drive-In Doors	4
Roofing	45 Mil White TPO with R-25 Insulation
HVAC	Make-Up Air Units to Maintain 55 Degrees Minimum
Fire Protection	ESFR
Electrical Service	4000 Amps 480/277V
Lighting	LED, 30 F.C.
Office	Build to Suit



BUILDING 4

Building Square Footage	383,064 SF
Total Site Area	24.23 Acres
Clear Height	40' clear
Column Spacing	54'-0" x 50'-0" 54'-0" x 60'-0" speed bay
Building Dimensions	810' x 470'
Building Depth	470'
Auto Parking	293 spaces
Trailer Parking	114 spaces
Exterior Walls	Reinforced Tilt-up Concrete Wall Panels with Textured Painted Finish
Structural Steel	12 x 12 Columns / Steel Bar Joists / White Roof Deck
Slab Construction	7" Unreinforced 4,000 PSI
Vapor Barrier	15 Mil Vapor Barrier Under the Slab at Each Building Corner
Dock Doors	38 Built 45 Future 83 Total
Drive-In Doors	4
Roofing	45 Mil White TPO with R-25 Insulation
HVAC	Make-Up Air Units to Maintain 55 Degrees Minimum
Fire Protection	ESFR
Electrical Service	4000 Amps 480/277V
Lighting	LED, 30 F.C.
Office	Build to Suit



exterior LED lighting with 1 foot candle min. average light intensity

louvers or clerestories as needed

prefinished gutters and downspouts with downspout guards

load bearing, non-insulated tilt-up concrete panels with decorative reveals and textured paint.

prefinished 9'-0" x 10'-0" insulated overhead doors with view panels, and dock equipment and 12'-0" x 14'-0" drive-in doors

metal grate stairs and railings

concrete truck apron

54'-0" x 50'-0" typical structural bay spacing

40'-0" clear height at joists beyond speed bay

45 mil TPO roof with R-25 insulation

ESFR fire sprinkler system

metal deck shop primed white

high bay LED lighting with 30 foot candle min. average light intensity

fire extinguishers surface mounted within 75'-0" travel distance

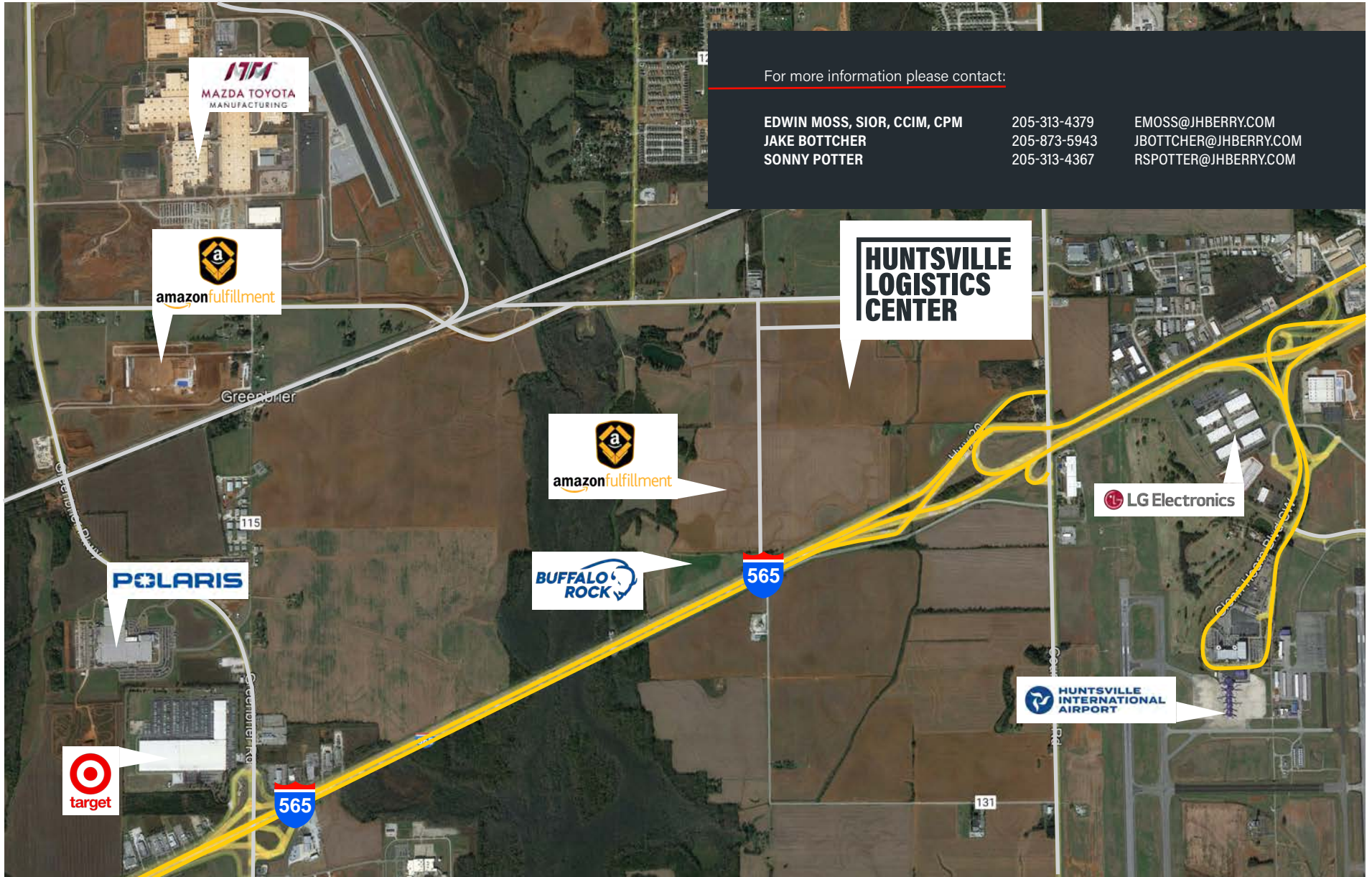
7" concrete slab over compacted base

54'-0" x 60'-0" speed bay structural spacing

HUNTSVILLE LOGISTICS CENTER

SITE LOCATION





For more information please contact:

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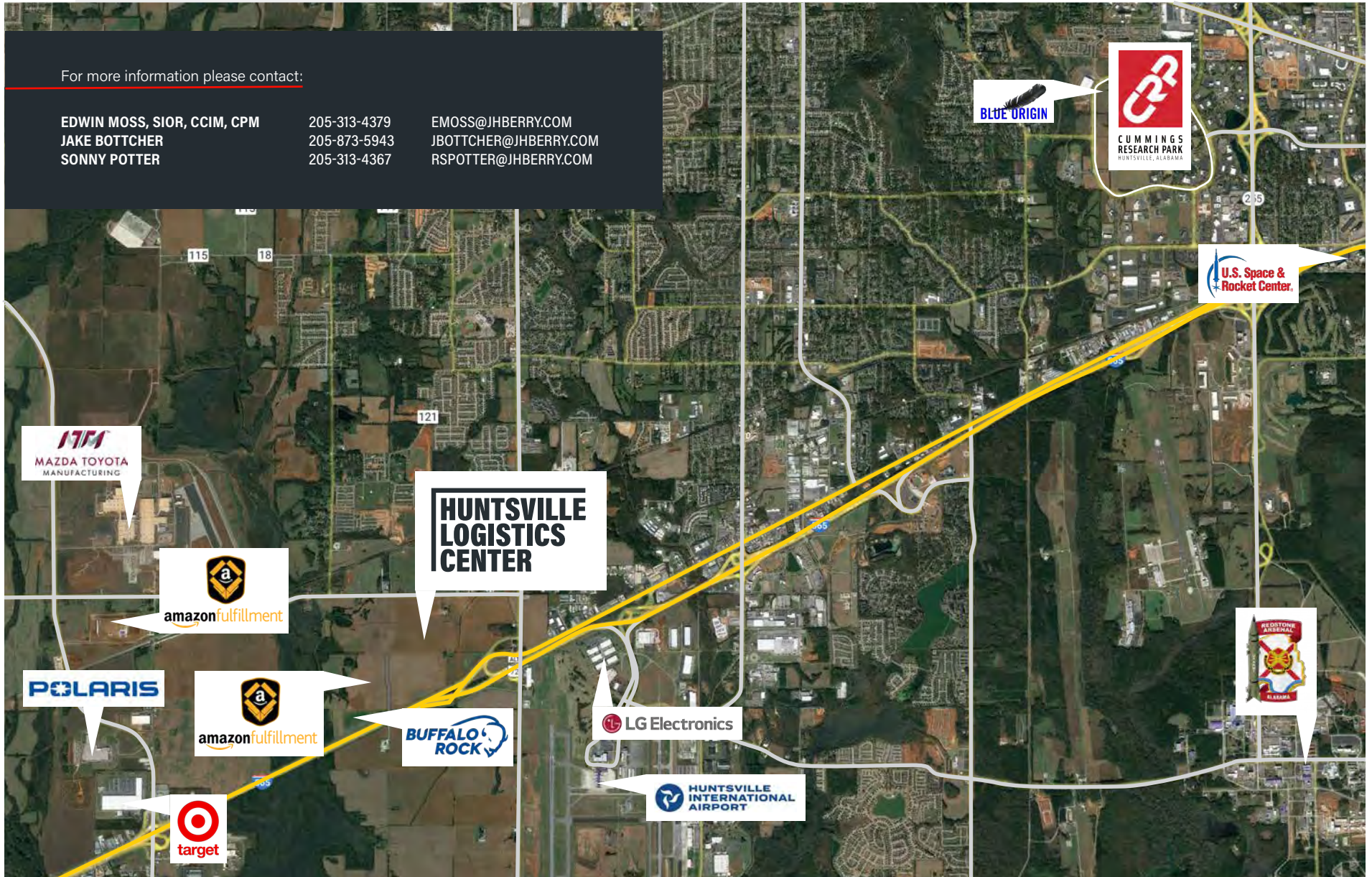
HUNTSVILLE CORPORATE VIEW

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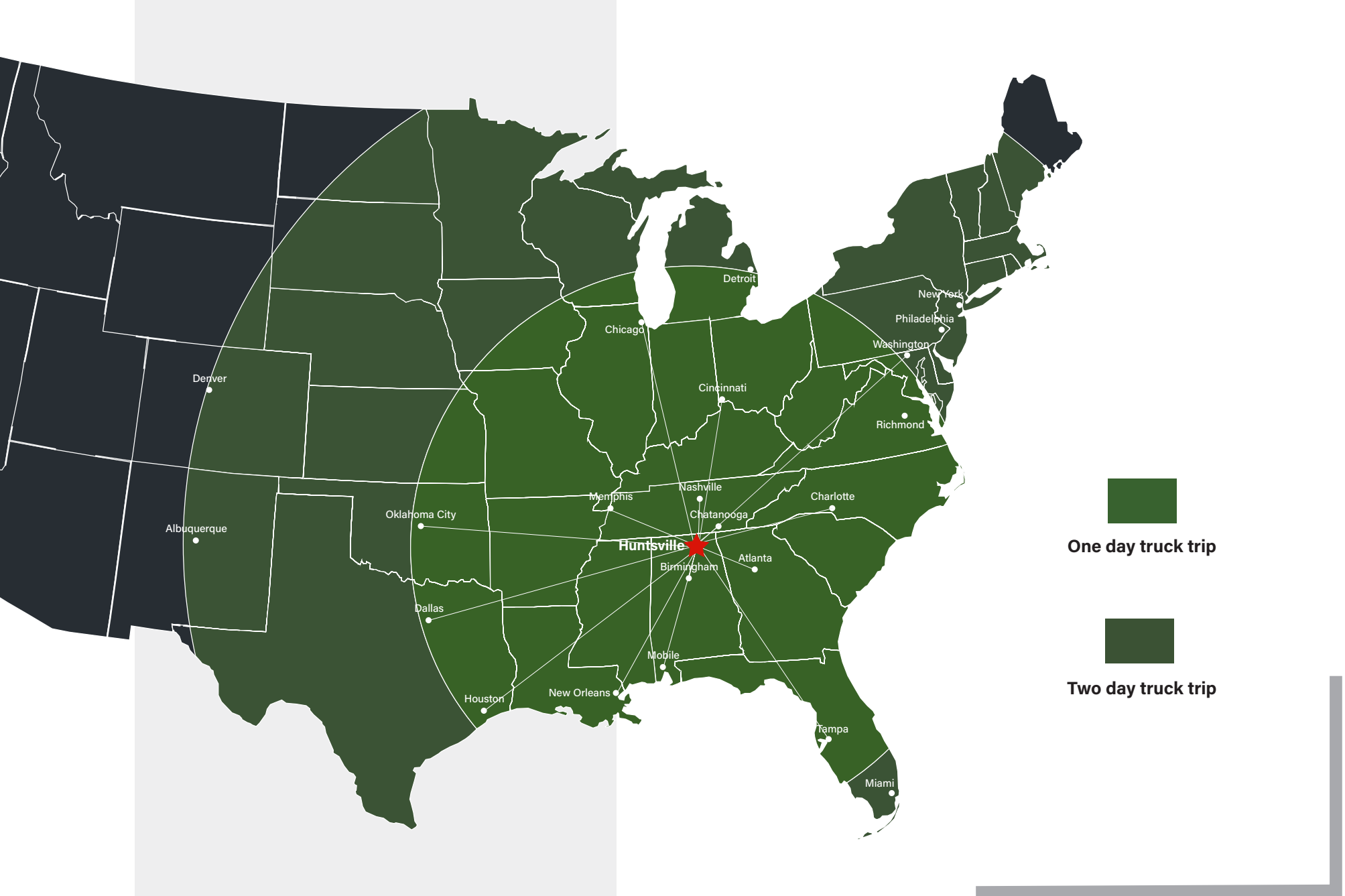
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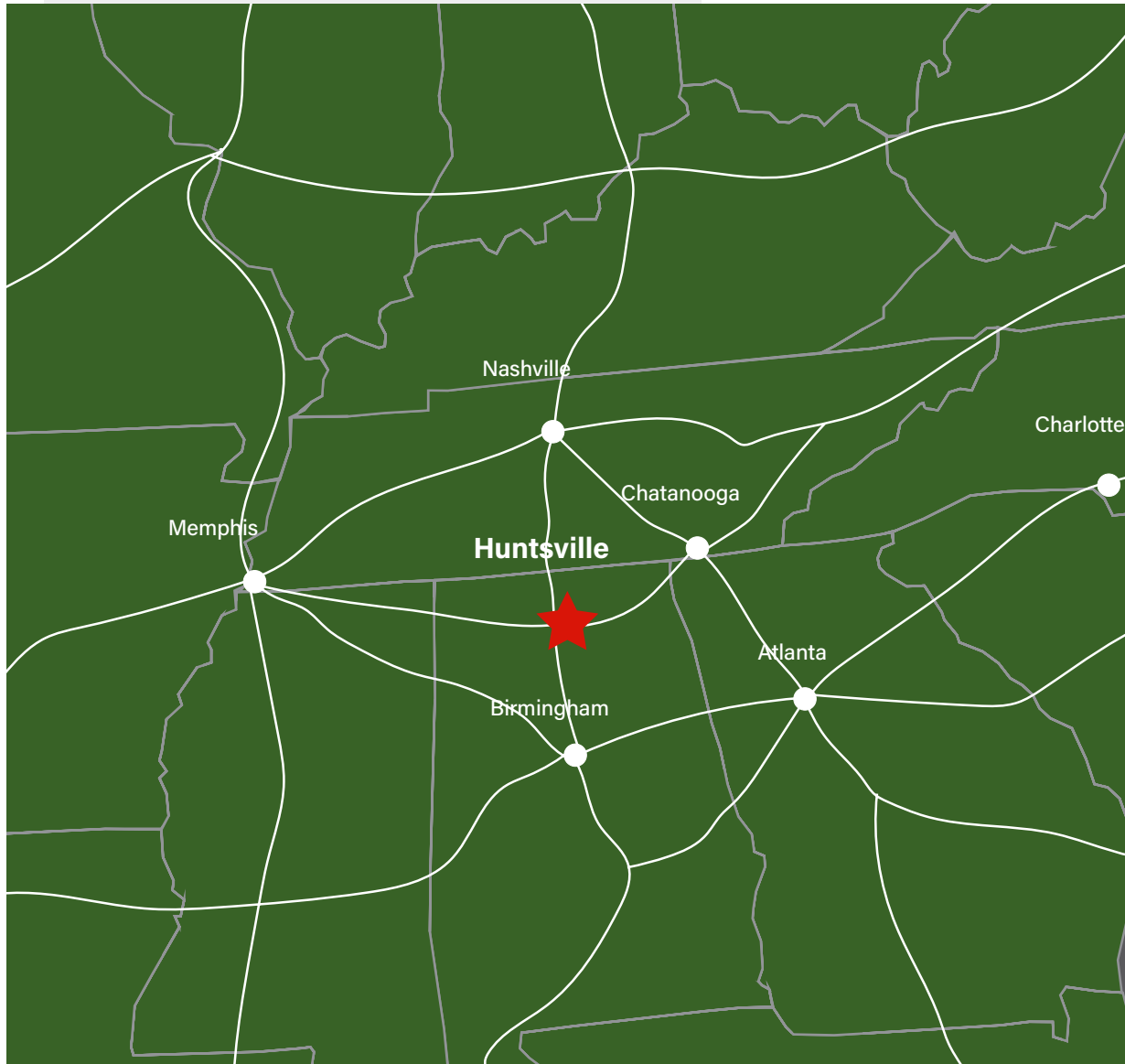
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HUNTSVILLE LOGISTICS CENTER

ACCESS TO KEY MARKETS





City:	Miles:	Time:
Birmingham	90 mi	1.5 hrs
Nashville	115 mi	2 hrs
Chatanooga	115 mi	2 hrs
Memphis	205 mi	3.5 hrs
Atlanta	235 mi	3.5 hrs
Charlotte	425 mi	7hrs

Huntsville is the fastest-growing city in Alabama. A 2021 study by SmartAssets, ranks Huntsville as the sixth best city in the country to work in manufacturing. It has two major interstates (I65 and I565) and two major state highways (231 and 431) running through the heart of the city. Huntsville is well-known for its short drive times. The city is investing more than a quarter billion dollars over the next decade to improve and expand the capacity of the existing network.

The Huntsville community is the economic driver for the North Alabama Region.

With a 13-county regional population of 1.1 million people, the economy is strong and growing. Military, space, telecommunications, biotechnology, diversified manufacturing and a variety of emerging specialties provide challenging work in delightful surroundings. The area enjoys a favorable cost of living and quality of life. Mountains, lakes, woodlands and the Tennessee River accommodate numerous recreational activities. A temperate climate enhances the season for outdoor sports, including world-class golf, hiking, biking, and fishing. Major concerts, Broadway and symphony performances, extensive permanent collections and traveling exhibitions contribute to a wonderful way of life.



Economic Drivers



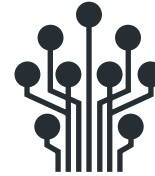
15%
FEDERAL
GOVERNMENT
(DoD, FBI, NASA)



12%
RESEARCH,
DEVELOPMENT &
ENGINEERING



10%
BIOSCIENCES,
LIFESCIENCES &
MEDICAL



12%
INFORMATION
TECHNOLOGY &
CYBER SECURITY



11%
ADVANCED
MANUFACTURING
& LOGISTICS



6%
EDUCATION &
UNIVERSITIES

Leading Employers per Sector



FEDERAL
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